

# SERRATOGA FALLS

## Residential Construction & Improvement Guidelines and Site Restrictions

Created October 2002

Revised 2/16/2018, 4/2018, 4/30/2020, 1/7/2021,  
4/30/2021, 11/9/2021, 04/28/2022

(These Guidelines Supersede Previous Editions and are  
Subject to Change without Notice)

# TABLE OF CONTENTS

<b>I.</b>	<b>INTRODUCTION</b> .....	6
1.1	Basis for Guidelines .....	6
1.2	Content of Guidelines .....	6
1.3	Committee Address and Phone .....	6
1.4	Effect of Covenants .....	6
1.5	Effect of Governmental and Other Regulations .....	6
1.6	Interference with Utilities .....	6
1.7	Goals of Guidelines .....	7
1.8	Design Standards .....	7
1.9	Streetscape Diversity .....	8
1.10	Building Massing .....	8
1.11	Roof Form.....	9
1.12	Front Entryways and Covered Porches .....	9
1.13	Columns, Piers, and Posts .....	9
1.14	Garages .....	10
1.15	Facade Articulation .....	10
1.16	Wall Articulation .....	10
1.17	Building Projections .....	11
1.18	Windows and Doors .....	11
1.19	Windows .....	11
1.20	Doors .....	11
1.21	Exterior Cladding and Color .....	12
1.22	Roof Materials and Color .....	12
1.23	Exterior Cladding Application .....	12
1.24	Exterior Architectural Accents .....	13
	Semi-Custom Lot Design Standards .....	15
<b>II.</b>	<b>SPECIFIC TYPES OF IMPROVEMENTS</b> .....	17
2.1	General.....	17
2.2	Accessory Buildings .....	17
2.3	Additions and Expansions.....	18
2.4	Address Numbers.....	18
2.5	Advertising.....	18
2.6	Air Conditioning Equipment.....	18
2.7	Antennas .....	18
2.8	Satellite Antenna/Dish .....	18

2.9	TV Antenna/Dish, Radio Antenna/Dish and Other .....	19
2.10	Awnings .....	19
2.11	Balconies.....	19
2.12	Basketball Backboards, Portable and Permanent Backboards .....	19
2.13	Birdbaths .....	19
2.14	Birdhouses and Birdfeeders .....	19
2.15	Boats .....	19
2.16	Business Activity from a Residence .....	19
2.17	Campers .....	19
2.18	Car Covers or Carports .....	19
2.19	Circular Drives.....	19
2.20	Clothes Lines and Hangers.....	19
2.21	Compost .....	19
2.22	Commercial and/or Oversized Vehicles.....	19
2.23	Decks .....	19
2.24	Dog Runs .....	20
2.25	Doors.....	20
2.26	Drainage.....	20
2.27	Driveways .....	20
2.28	Evaporative Coolers.....	20
2.29	Exterior Lighting.....	20
2.30	Fences .....	20
2.31	Firewood Storage .....	21
2.32	Flagpoles.....	21
2.33	Garbage Containers and Storage Areas.....	21
2.36	Grading and Grade Changes .....	21
2.37	Greenhouses.....	21
2.38	Hanging of Clothes .....	21
2.39	Hot Tubs .....	21
2.41	Jacuzzi.....	21
2.42	Junk/Inoperable Vehicles .....	21
2.43	Kennels .....	21
2.44	Landscaping .....	21
2.45	Latticework .....	21
2.46	Lights and Lighting.....	21
2.47	Motor Homes .....	21
2.48	Motor Vehicles/Recreational Vehicles.....	21
2.49	Overhangs/Awnings.....	22
2.50	Painting .....	22

2.51	Patio Covers .....	22
2.52	Patios - Enclosed .....	22
2.53	Patios - Open .....	22
2.54	Paving .....	22
2.55	Pipes .....	22
2.56	Poles .....	22
2.57	Radio Antennas .....	22
2.58	Roofs .....	22
2.59	Rooftop Equipment .....	22
2.60	Saunas .....	22
2.61	Screen Doors .....	23
2.62	Sewage Disposal System .....	23
2.63	Exterior Shutters .....	23
2.64	Siding .....	23
2.65	Signs .....	23
2.66	Skylights .....	23
2.67	Solar Energy Devices .....	23
2.68	Spas .....	23
2.69	Sprinkler Systems .....	23
2.70	Statues .....	23
2.71	Storage Sheds .....	23
2.72	Sunshades .....	24
2.73	Swamp Coolers .....	24
2.74	Television Antenna .....	24
2.75	Temporary Structures .....	24
2.76	Temporary Vehicles .....	24
2.77	Trailers .....	24
2.78	Trash Containers, Enclosures, and Pick Up .....	24
2.79	Treehouses .....	24
2.80	Trucks .....	24
2.81	Underground Installations .....	24
2.82	Utility Equipment .....	24
2.83	Vanes .....	24
2.84	Vehicles (large) .....	24
2.85	Vents .....	24
2.86	Walls .....	24
2.87	Walls - Retaining .....	24
2.88	Water Purification Systems .....	24
2.89	Wells .....	24

2.90	Windows: Tinting, Security Bars, etc..	24
2.91	Wind turbines, Wind Vanes, Wind Chimes, Directionals, etc.	24
<b>III.</b>	<b>PROCEDURES FOR DRC APPROVAL</b>	<b>25</b>
3.1	General	25
3.2	Drawings or Plans	25
3.3	Architectural Design Review Requirements	26
3.4	Submittal Requirements	26
3.5	Building Code	27
	<b>DEFINITIONS</b>	<b>27</b>

# I. INTRODUCTION

**1.1 Basis for Guidelines.** These Residential Improvement Guidelines and Residential Site Restrictions are intended to assist homeowners at Serratoga Falls in the design of their homes, landscaping, and other improvements to their property, as provided for in Articles IX and XV of the Declarations of Covenants, Conditions and Restrictions for Serratoga Falls (The Covenants), to list the rules and regulations adopted by the Serratoga Falls Homeowners Association (The Association) and or the Serratoga Falls Metropolitan District (The District) with respect to the use of Residential lots. THE DECLARATION OF COVENANTS FOR SERRATOAGA FALLS REQUIRES THE PRIOR APPROVAL OF THE DESIGN REVIEW COMMITTEE (DRC) BEFORE ANY IMPROVEMENT TO A LOT IN SERRATOAGA FALLS. "Improvement" is very broadly defined in the Covenants. For instance, an "improvement" would include any landscaping or change of the grade of property; the construction or installation of any accessory building, patio, fence, deck, pool or hot tub; tile demolition or removal of any building or other improvement; and any change of exterior appearance of a building or other improvement. In order to assist homeowners, the Covenants authorize the DRC to establish guidelines and to establish certain pre-approved designs for several types of improvements to property and to exempt certain improvements to property from the requirement for approval. This booklet contains the guidelines established by the DRC with respect to residential property. Throughout this document the term "property" or "home site" shall refer to a residential lot.

In the unlikely event that an existing house is damaged thereby requiring partial or whole reconstruction, the homeowner shall be permitted to recreate the original structure irrespective of these guidelines. Work associated with partial or whole reconstruction must comply with any Town of Timnath ordinance, code and the like, in effect at the time of the work.

**1.2 Content of Guidelines.** In addition to the introductory material, these Guidelines contain: (a) a list of specific types of improvements which homeowners might wish to make with specific information as to each of these types of improvements; (b) rules and regulations applicable to residential lots; (c) a summary of procedures for obtaining approval from the DRC; (d) some attachments for such things as screens and enclosures; (e) a definition section to define specific words or words in quotations.

**1.3 Committee Address and Phone.** The present address of the DRC is Centennial Consulting Group 2619 Canton Ct., Suite A; Ft. Collins, CO 80525; Office - 970-484-0101.

**1.4 Effect of Covenants.** The Covenants are documents governing property within Serratoga Falls. Copies of the Covenants are delivered to new home buyers when they purchase their homes and are available at any time at the DRC office. Each homeowner shall review and become familiar with the Covenants and any Supplemental Declarations applicable to his or her property. Nothing in these Guidelines can supersede or alter the provisions or requirements of the Covenants, or of any Supplemental Declaration and, if there is any conflict or inconsistency, the Covenants, and Supplemental Declaration will control. Provisions relating to the use of property and to improvements to property are found in the Covenants.

**1.5 Effect of Governmental and Other Regulations.** Use of property and improvements to property must comply with applicable building codes and other governmental requirements and regulations. Approval by the DRC will not constitute assurance that improvements comply with applicable governmental requirements or regulations or that a permit or approvals are not also required from applicable governmental bodies. For general information about the Town of Timnath requirements, homeowners should write or call the Town of Timnath Building Department.

**1.6 Interference with Utilities.** In making improvements to property, homeowners are responsible for locating all water, sewer, gas, electrical, cable television or other utility lines or easements. Homeowners shall not construct any improvements over such easements without the consent of the utility involved and homeowners will be responsible for any damage to any utility lines.

**1.7 Goals of Guidelines.** Compliance with these Guidelines and Restrictions, and the provisions of the Covenants, will help preserve the inherent Architectural and aesthetic quality of Serratoga Falls. It is important that the improvements to property be made in harmony with and not detrimental to the rest of the community. A spirit of cooperation with the DRC and neighbors will go very far in creating an optimum environment which will benefit all homeowners. By following these Guidelines and Restrictions and obtaining approvals for improvements to property from the DRC, homeowners will be protecting their financial investment and will help insure that improvements to property are compatible with standards established for Serratoga Falls. If a question ever arises as to the correct interpretation of any terms, phrases or language contained in these Guidelines and Restrictions, the DRC's interpretation thereof shall be final and binding.

**1.8 Design Standards.** Architectural styles permitted in the community shall be Old World style designs including inherited and borrowed architectural styles such as Craftsman, Prairie/Four Square, European, French Country, English Manor, Tuscan, and other acceptable classical designs as well as more contemporary versions of those styles. Blended together the various categories of architecture can lend to building neighborhoods that provide attractive designs, using diverse materials that articulate facades with rich colors that reflect the physical characteristics of the site.



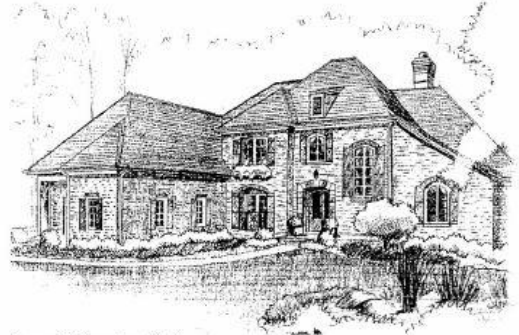
Craftsman Style



Prairie/Four Square Style



European Style



French Country Style



English Manor Style



Tuscan Style

**1.9 Streetscape Diversity.** Create homes that promote streetscape diversity through varied styles, floor plans, lot sizes, elevations, front porches, and landscaping.

A. All dwellings will have significantly different front and rear elevations and significantly different side elevations when they face the street or greenspace; however, similar floor plans may be implemented in the design. For the purposes of this subsection, elevations will be considered "significantly different" from one another if the conditions set forth below are met as determined by the DRC:

1. The window size, shape, style, location, and associated design features (ie shutters, window boxes, transoms, bump-out, etc) of at least 50% of the windows and doors differ.
2. The shapes of at least two window dormers and/or window bays differ.
3. The shapes of at least two gable ends differ.
4. The shapes of porches and/or other similar projecting design elements differ.
5. More than 50% of the front elevation cladding is of a different material.

B. In addition to 1.9.A, the same floor plan (mirrored or standard) shall not be constructed on adjacent lots, or lots across the street from one another. A minimum of two elevations that are significantly different, as defined in the previous subsection, shall be provided per floor plan.

**1.10 Building Massing.** Create home profiles that contribute to streetscape diversity.

A. All homes shall incorporate single-story building elements such as recessed entries or covered porches as transitional elements to larger second-story building volumes.

B. One-story homes shall have 40% of their complete front facade comprised of features that are not part of the garage area, including overhead doors and wall area around the doors that front a garage. The calculation shall include wall areas, windows and doors, but exclude roof and fascia.

C. Two-story homes shall have a minimum 50% of their complete front facade comprised of features that are not part of the garage area, including overhead doors and wall area around the doors that front a garage. The calculation shall include wall areas, windows and doors, but exclude roof and fascia. In addition to meeting this minimum percent of the overall facade area, a minimum of 30% of the width of the first floor elevation shall be dedicated to features that are not part of the garage area.

D. Please note Exhibits pertaining to exterior elevations.



Single-Story Massing Example



Two-Story Massing Example



**1.11 Roof Form.** Create a visible main-body roof form complemented by smaller roof planes or elements. Minor roof elements such as gable ends and dormers shall be proportional to the spaces they cover and to the overall roof size and form. These elements qualify for the quantity of roof breaks required.

A. There shall be a minimum of two roof breaks for each home to create variation in roof massing. (Roofs that turn a corner or change elevation.)

B. All roof vents, flashing, pipes and soil stacks shall be painted to match the roof color and shall be located behind the ridgeline whenever possible.

**1.12 Front Entryways and Covered Porches.** Create single story building volumes including recessed entries or covered porches that soften the building facade, acting as transitional elements to larger-scaled building volumes. All elevations should contribute to streetscape of the community through unique and attractive designs. Front doors shall be visible from the street.

**1.13 Columns, Piers, and Posts** (Front elevation only).

A. Columns shall be a minimum of ten (10) inches square (Box Column) or ten inches in diameter at the base (Round Column). Grouped round columns (two or more) shall be a minimum of eight inches in diameter at the base. A round column is permitted to taper.

B. Columns shall be designed with the distinctive base, shaft, and capital.

C. 40% columns shall be a minimum of sixteen (16) inches square and stucco piers shall be a minimum sixteen (16) inches square. Piers shall be crowned with an appropriate cap.

D. Wooden posts shall be a minimum of eight (8) inches (nominal) square. Grouped posts (two or more) shall be a minimum of six (6) inches (nominal) square. If posts are turned, the eight (8) inch minimum dimension shall be measured at the largest diameter of the post.

E. Posts shall be designed with a cap, base trim, or brackets.

**1.14 Garages.** Design garages to create streetscape variety and visual interest. Integrate the garage with the home and minimize the garage door impact on the front, street-facing elevation.

A. Garages shall be oriented in such a manner as to mitigate their impact along public streets. This shall be achieved by incorporating appropriate architecture into the design of homes within a subdivision through a variety of garage locations and orientations, including rear loaded, side-loaded, tandem, recessed, and combination front/side loaded garage designs.

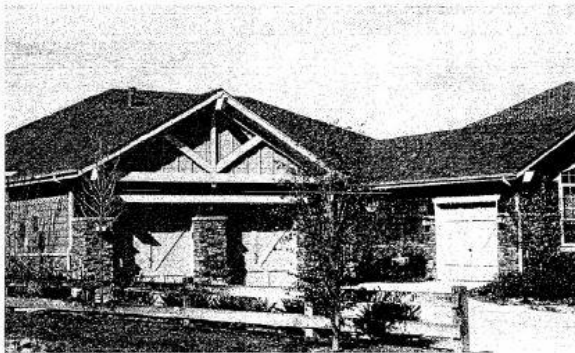
B. For homes with a three-car garage, the third bay of a garage shall be recessed or projected a minimum of eighteen (18) inches from the face of the other two (2) garage bays or provide three separate garage bays and associated garage doors.

C. Garage door trim shall compliment the trim around doors and windows or other substantial architectural features on the doors.

D. All garage elevations shall provide garage door windows or other substantial architectural features.

E. All street facing facades of side-loaded garages shall contain at least two (2) windows, of a scale and detail compatible with the habitable portion of the dwelling.

F. All garage doors shall contribute to the overall character and appeal of the home. Garage doors shall be painted or stained a complementary color of the home. Garage doors shall be articulated and may be composed of ornamentation, such as recessed or grooved panels or windows depending upon house style.



Three-Car Garage Example



Side-loaded Garage Example

**1.15 Facade Articulation.** The design of the homes shall avoid long expanses of blank walls and windowless elevations by using building elements such as plane breaks and building projections that help segment the building mass and break-up large expanses of blank wall.

**1.16 Wall Articulation.**

A. Wall plane articulation shall be provided based upon the following minimum requirements. The front facade of a porch shall meet the requirement of one wall plane, rear decks need not satisfy the requirement of a wall plane:

1. Front Elevations

One-Story: Three wall planes (separated by a minimum 12 inch off-set).

Two-Story: Four wall planes (separated by a minimum of 12 inch off-set).

2. Rear Elevations

Three wall planes (separated by a minimum 12 inch off-set).

B. In addition to the two wall planes required for rear walkout elevations visible from public streets, rear elevations shall incorporate a minimum of one of the following facade articulation elements: building projections/pop-outs (bay or box windows), one-story building volumes, decks, covered porches, gable ends, and chimney fireplace pop-outs.

**1.17 Building Projections.**

A. Building projections, such as bay and box windows, must project a minimum of twelve (12) inches from the facade surface.

B. Cantilevered projections shall be supported by decorative corbels, brackets, or base boards.

**1.18 Windows and Doors.** Windows and doors shall be composed of smaller human-scaled elements and ornamentations, to express vertical proportions. The placement of windows and doors on building elevations should create proportionate, balanced, and rhythmic compositions.

**1.19 Windows.**

A. All single-story front elevations shall have a minimum of 20% of window area. The elevation area shall be calculated as the entire front facade minus the garage face, garage door, front door, roof and fascia. Window area includes the trim around the window, excluding shutters.

B. All two-story front elevations shall have a minimum of 25% of window area. The elevation area shall be calculated as the entire front facade minus the garage face, garage door, front door, roof and fascia. Window area includes the trim around the window, excluding shutters.

C. Elevations that abut a public street not addressed by the preceding Paragraphs A and B, parkland (public or private) or open space area shall have a minimum of 15% window area. The elevation area shall be calculated as the entire facade minus any garage face, garage door, door, roof and fascia. Window area includes the trim around the window, excluding shutters.

D. Windows (on front and rear elevations) shall be generally centered on the building mass, aligned both horizontally and vertically (except where functional or structural composition of the structure warrants otherwise). This does not apply to garage doors.

E. All window openings shall be trimmed with decorative trim or molding a minimum of three and one-half inches (3.5") wide.

**1.20 Doors**

A. Front doors shall be articulated and composed of ornamentations such as recessed or grooved panels or windows.

B. Sliding glass doors shall only be used on side or rear building elevations.

### **1.21 Exterior Cladding (exterior weather-resistant surface of the house) and Color.**

Cladding materials such as but not limited to, stucco, brick, stone/stone veneer, various types of siding, shingles that create visual depth and detail shall be used. Elements of stained wood are encouraged.

1.21 (a): Front Elevation - A minimum of three different cladding materials shall be incorporated on the front elevation. One of the cladding materials used must be stone, brick, and/or manufactured stone veneer.

1.21 (b): Rear Elevation - A minimum of three (primary, secondary & tertiary) different cladding materials shall be incorporated on the rear elevation. The primary cladding material is considered to be that material that covers a significant portion of the facade. The secondary cladding material shall cover a minimum of 20% of the elevation square footage. The tertiary cladding material shall cover a minimum of 5% of the elevation square footage.

1.21 (c): Side Elevations - A minimum of two (primary & secondary) different cladding materials shall be incorporated on each side elevation. The primary cladding material is considered to be that material that covers a significant portion of the facade. The secondary cladding material shall cover a minimum of 20% of the elevation square footage.

NOTE: Columns/posts (and their cladding material) associated with rear porches etc.; masonry and/or stone corner wraps, are not to be included into the 20% or 5% determination.

1.21 (d):

- Lap siding shall not exceed eight (8) inches exposed to the weather. All siding must be high quality wood grained or cement board siding.
- Board and batten siding shall not exceed twelve (12) inches (board) and two (2) inches (batten) exposed to the weather.

1.21 (e): Color

- Color variety shall relate to changes of materials such as a stone building base, clapboard façade, and composition roof.
- A minimum of three (3) colors (material or paint/stained color) not counting roof material (color) are required.

### **1.22 Roof Materials and Color**

1. The required roofing material shall be a minimum of 40 years or greater composition roofing, architectural grade dimensional fiberglass shingles, straight cut or color-framed mitered corners with weathering grade asphalt and ceramic granules, heavy weight composition. Other high quality roofing materials may be acceptable, subject to DRC approval.
2. Rich, natural roof colors are required. Avoid simple and repetitive patterns of roofs on homes.
3. Metal roofing is recommended as an accent to homes and is subject to DRC approval.

**1.23 Exterior Cladding Application.** The DRC strongly discourages piecemeal material applications, frequent changes in cladding materials and unconvincing material transitions.

A. Different cladding materials shall be joined together in a harmonious fashion. Intermediate building components such as frieze boards, wainscot caps, window sills, belly bands, and corner boards shall be provided as transitional elements between different cladding materials.

B. When masonry or stone occurs at the corner of a front elevation, the material shall wrap the corner a minimum of four (4) feet, or terminate on an inside corner of a building element on the side elevation.

C. When masonry or stone occurs at the corner of a front elevation and the side elevations fronts onto a public street, the material shall wrap the corner to the next wall plane break.

#### 1.24 Exterior Architectural Accents.

Front and rear elevations should have a minimum of three architectural accents to enhance and provide interest to the front façade of the house and its design/style. The use of architectural accents on the sides of the house, that are compatible with those used on the front elevation of the house, is strongly recommended.

Examples of architectural accents include but are not limited to the following:

1. Roof beam ends, posts, brackets or braces
  2. Window awnings
  3. Shutters
  4. Planter boxes (that are later planted with plant material)
  5. Vents of significant character and size
  6. Metal roofing accents
  7. Copper gutters
  8. Rain chain downspouts
  9. Belly bands
  10. Attached wooden pergola
  11. Rafters on soffits
  12. Brick and/or stone
  
  13. Gable end ornamentation (including decorative vents, material changes, and eave posts or brackets)
  14. Frieze board
  15. Lighting fixtures that accentuate the design/style of the house
  16. Very distinctive front door for style/design of house
- All architectural accents shall be compatible with those used on the front elevation of the house and compliment the house design/style
  - The DRC has the authority to make any final determination of accents used.



Building Facade Material Example



Building Facade Material Example



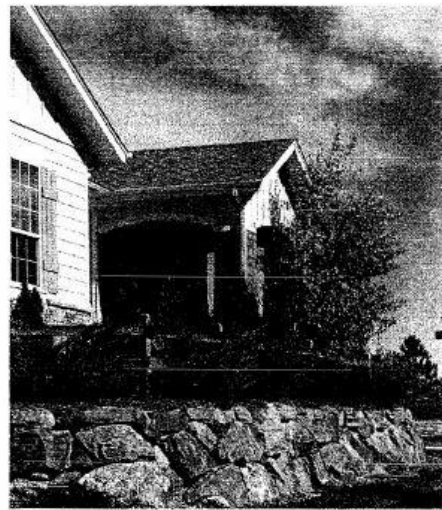
Architectural Elevation/Accents Example



Architectural Elevation /Accents Example



Rear Elevation Example



Side Elevation Example

## SEMI CUSTOM LOT DESIGN STANDARDS

(REQUIREMENTS ARE SUBJECT TO CHANGE)

\* See "Exhibit A" for Semi Custom lot area.

### 1) DIVERSITY OF STYLES:

It is the intent of the Design Review Committee to ensure that each home is compatible with the neighborhood as a whole, while encouraging creativity and individuality of style.

#### *EXTERIORS:*

##### *Exterior Finish Corner Wraps*

40% minimum of entire front elevation to be masonry or stone, (exceptions made for specific styles) with 4-foot corner wraps minimum. Stucco must be upgraded design with built-out windows and/or other detailing. Facade materials shall extend to the ground plane to fully cover exposed foundation walls, with no more than 4" exposed foundation where masonry veneer is used and not more than 6" elsewhere, including those on walk out and garden level homes. Rear and side elevations should also include architectural accents consistent with the front elevation.

##### *Siding*

Hardboard siding - Painted minimum or equivalent. High quality wood grained siding or cement board siding 8" maximum reveal. Vertical siding used only as accent or complimentary to specific styles. Aluminum and Vinyl siding are prohibited.

##### *Corner boards*

1 x 6 Battens minimum

##### *Fascia*

Minimum 8"

##### *Windows*

1" x 4" minimum window surround

##### *Overhang*

Minimum 12"

##### *Roof Slope*

5/12 Pitch minimum. (the DRC may approve other roof pitches if complimentary to a specific house style. A builder/homeowner must justify to the DRC why an alternative roof pitch is desired and clearly show via proposed drawings, architectural features that correspond with the house style being proposed.)

##### *Decks*

Any elevated decks on garden level and walk-out lots require masonry component, i.e. columns, posts, or a covered deck using same roofing materials as house. All wood decks, steps and rails must be painted or stained a complimentary color to the house.

##### *Vents, Pipes, Flashing, Stacks, Chimney Caps*

To be located on roof slope away from street whenever possible and must be painted to match roofing color.

##### *COLORS:*

Color selection sheets showing body & trim paint and masonry and stucco selection must be approved by DRC before installation. All exterior railing, wood, trim must be painted or stained. All homes shall be painted with deep, rich earth tone (muted/flat) colors and shall reflect the natural setting of the community. All trim and accent colors shall compliment the base colors. In general, trim colors shall be lighter in color than the base colors. Stained wood trim and architectural accent are encouraged. Two-tone paint color schemes are encouraged.

**\*It is highly recommended that all Builders/Home owners seek the consultation of a professional color consultant in the selection of their exterior colors.**

- ROOFING:* 40 Year Composition Shingle
- HEIGHT:* 35' maximum per Town of Timnath code.
- GARAGES:* All garages must be side-load or if front-load, recessed behind the forward-most wall plane whenever possible. Front loading and projecting garages with a third garage door shall have a minimum offset (setback) of eighteen inches from the other two garage doors. The width of the garage shall not dominate the front elevation. Side-loaded garages shall have windows located on the front street-facing elevation.
- BUILDING LOCATION, BUILDING ENVELOPES and SETBACKS:* Setbacks for lot layout:  
- Minimum front yard setback is 20' from front property line.  
- Minimum back yard setback is 20' from rear property line.  
- Minimum side yard setback is 7' from side property lines.  
- Minimum distance between side load garage and side property line is 25'  
- Minimum distance between driveway and property line is 3'  
- Maximum driveway width at the street is 20'
- FENCING:* Fence to be set back 8' from front of house. (See Exhibit B for fencing design in Landscape Design Guidelines)
- FOUNDATION:* Minimum elevation as per final grading plan prepared by TST. Inc. DRC approval required if TOF is to exceed minimum by more than 1'.
- 2) **MINIMUM SQUARE FOOTAGE:** Unless otherwise approved by the DRC in their sale discretion, no dwelling may be erected on a Semi Custom lot unless the finished floor space area thereof, exclusive of basement, open porches, garages, and attached out-buildings is at least 2,000 square feet for a Ranch plan and at least 2,400 square feet for a 2-Story plan.
- 3) **CONSTRUCTION FENCING:** All lots must be fenced with temporary mesh fence prior to any construction-related activity. The rear of the lot and both sides out to the sidewalk or curb must be fenced in order to contain trash and prevent encroachment onto adjoining properties or greenbelt. Straw wattles and/or silt fence shall be installed along all four (4) sides of the property to prevent erosion and silt build-up in streets and landscape areas. These erosion control devices shall be kept in place until all landscaping is installed. Owners must access their lots through the front only and may not dump excavated soil or debris on neighboring property.
- 4) **CONSTRUCTION MAINTENANCE:** All Owners and Builders are responsible for maintaining their lots by controlling weeds, erosion, and trash. Each lot is required to have its own temporary power, trash container, and portable toilet, unless several Owners have agreed to share these facilities.
- 5) **DESIGN REVIEW FEES AND TIMELINE:** Although preliminary submittals are not required, they are encouraged. The DRC will review any Builder's or Owner's plans, sketches or conceptual drawings at any stage before final submittal. This process should help owners avoid the expense and frustration of a possible DRC disapproval of a formal submittal. The review fee is due with this conceptual submittal.



Each formal submittal for design approval will be referred by the DRC to an approved Architect for review. A fee for the initial DRC/design review must be submitted with the site plan and construction drawings (or with conceptual sketches if a preliminary review is desired.) This fee will allow for one review by the Architect with redline responses, and one re-submittal and response. Additional re-submittals will require another fee per submittal. Please contact Centennial Consulting Group for a current list of fees.

The DRC will provide a written response within 30 days after submittal. Responses to the DRC shall be responded to within 45 days, or resubmittal will be required. Final approval of plans is valid for nine (9) months. Construction must begin within this period or, if not, plans must be re-submitted and reviewed again, as if they had not been submitted for reviewed before. A fee is required for this re-submittal. (NOTE: The DRC may adjust the fee schedule for submittals and review at any time.)

Upon commencement of construction, homes must be completed within eighteen months.

## II. SPECIFIC TYPES OF IMPROVEMENTS

- 2.1 General.** Following is a listing, in alphabetical order, of restrictions as well as a wide variety of specific types of improvements which homeowners typically consider installing, with pertinent information as to each. UNLESS OTHERWISE SPECIFICALLY STATED (SEE SECTION 3.2), DRAWINGS OR PLANS FOR A PROPOSED IMPROVEMENT MUST BE SUBMITTED TO THE DESIGN REVIEW COMMITTEE AND THE WRITTEN APPROVAL OF THE DESIGN COMMITTEE OBTAINED BEFORE THE IMPROVEMENTS ARE MADE. In some cases, where it is specifically so noted, a homeowner may proceed with the improvement without advance approval by the Design Review Committee (DRC) if the homeowner follows the stated guideline. In some cases, where specifically stated, a type of improvement is prohibited. Any improvement not listed below requires DRC approval.
- 2.2 Accessory Buildings.** DRC approval is required. Approval will be based upon, but not limited to the following criteria:
- (a) Must be of the same or generally recognized as complimentary architectural style, material and color as that of the residence.
  - (b) Maximum sizes will be 8' x 10' x 8 0' in height including skids, foundation or concrete slab. Requests for approval will be reviewed on a case-by-case basis, taking into consideration the lot size, square footage of the home and proposed location of shed or accessory building.
  - (c) All sides must be "screened" by landscaped vegetation, or the home. Landscape vegetation must be evenly distributed on all exposed sides and must not allow more than 50% of building to be viewed from ground level.
  - (d) Any utilities to accessory building shall be underground.
  - (e) Shall be located in the side or rear yard.
  - (f) Roof material must match the existing roof on residence unless otherwise approved by DRC.
  - (g) Shall not unreasonably obstruct adjacent neighbor's view of mountains or open areas.
  - (h) Detached storage sheds are not permitted.

- 2.3 Additions and Expansions.** DRC approval is required. Additions or expansions to the home will require submission of detailed plans and specifications. Materials shall match the existing residence.
- 2.4 Address Numbers.** A standard style of address block has been determined for use throughout Serratoga Falls and shall be required on all homes. This address number block must be in-bedded into the rock façade located in an around the garage in an easily visible location, unobstructed by landscaping, to allow for easy identification by visitors and emergency personnel. DRC approval is required to relocate or replace existing numbers.



**Approved design provided by DRC**

- 2.5 Advertising.** All trade signs, which includes but are not limited to landscaping, painting and roofing must be approved by the DRC and when approved, shall only be displayed while work is in progress and must be removed upon completion of the job. No more than one sign shall be posted at anyone time on the site. Sign shall not exceed 3' x 3'. Realty signs, see Signs.
- 2.6 Air Conditioning Equipment.** DRC approval is required. Window units installed at street level must be located in a "side" or "rear" yard and must be concealed from adjacent properties. Installation of air conditioning window units above street level will not be permitted. All ground mounted air conditioning units shall be installed at the side or rear yard and be properly screened from view. See also Evaporative Coolers.
- 2.7 Antennas.** Exterior radio antennas, television antennas, microwave or other electronic signal, receiving or transmitting equipment shall not be erected in residential portions of Serratoga Falls unless approved by the DRC, or as otherwise allowed by State or Federal law.
- 2.8 Satellite Antenna/Dish.** One (1) small satellite antenna/dish may be installed and maintained on any privately owned site, but only upon compliance with the following conditions:
- (a) Prior written approval of the DRC must be obtained, both before installation and before relocation of any previously approved existing satellite antenna/dish;
  - (b) The satellite antenna/dish must be twenty four (24) inches or less in diameter and must be indistinguishable from other structures, devices or improvements otherwise allowed in the community and/or by the Covenants and/or these Guidelines;
  - (c) The satellite antenna/dish must not be visible from the front of the privately owned site upon which it is located;
  - (d) Adequate screening (shrubbery, etc.) as is deemed appropriate by the DRC to effectuate the intent of paragraphs (b & c) and also to adequately screen the satellite antenna/dish from neighboring privately owned sites, parks, parkways, greenbelts, school grounds, and open space must be proposed and provided;
  - (e) The satellite antenna/dish installed on a privately owned site is restricted for the personal use of the owner of the site;

(f) When located at ground level, the top of the satellite antenna/dish unit shall not exceed forty-five (45") inches above grade;

(g) The installation of the satellite antenna/dish must comply with any zoning requirements and building code, if applicable, with evidence of such compliance to be provided to DRC.

NOTE: DRC approval of a satellite antenna/dish is in no way to be construed as a representation, guaranty, warranty, etc. by the DRC that reception and/or transmission signals will be adequate or will remain undisturbed by vegetation or improvements located on surrounding properties.

- 2.9 TV Antenna/Dish, Radio Antenna/Dish and Other Antenna/Dish.** Although approved satellite antenna/dish may be installed on privately owned sites, all other exterior radio, TV or other antennas/dishes shall remain restricted from residential privately owned sites unless installed within the attic of the homes.
- 2.10 Awnings.** See Overhangs
- 2.11 Balconies.** See Decks
- 2.12 Basketball Backboards, Portable and Permanent Backboards.** DRC approval is required for every free-standing, pole mounted basketball goal. Basketball courts are not allowed. Portable basketball hoops are allowed but must be stored when not in play.
- 2.13 Birdbaths.** DRC approval is not required if placed in "rear" yard and of a height not greater than 3 feet including any pedestal. Placement in "front" or "side" yard requires DRC approval.
- 2.15 Boats.** See Motor Vehicles/Recreational Vehicles
- 2.16 Business Activity From a Residence.** Each home site shall be used as a site for a residence and for no other purpose. No commercial business or trade shall be conducted on any lot, except such home occupations as defined and permitted under applicable Town of Timnath zoning codes and regulations. Said home occupations are not allowed if there will be a change from normal residential use including, but not limited to: trash, sound, odor, signage, traffic, vehicles, parking, and deliveries.
- 2.17 Campers.** See Motor Vehicles/Recreational Vehicles
- 2.18 Car Covers or Carports.** Not permitted. See Sections 2.22 and 2.49 for allowable methods of vehicle storage.
- 2.19 Circular Drives.** See Driveways
- 2.20 Clothes Lines and Hangers.** Cloths lines or clothes drying structures require DRC approval.
- 2.22 Commercial and/or Oversized Vehicles.** A commercial vehicle is defined as, but is not limited to, a vehicle that has a business name or logo on it, has equipment attached to or is used for the purpose of providing services to an individual or corporation. An oversized vehicle is defined as a vehicle including a boat, RV, or trailer which cannot be parked within the garage. All commercial and oversized vehicles must be parked in the garage. Oversized vehicles or 'ungarageable' commercial vehicles are not allowed to be parked in the driveway, rear yard, side yard, or on the street. No vehicle, whether commercial or oversized, shall be parked in such a manner that it blocks access unless it is for immediate delivery and reparation.
- 2.23 Decks.** DRC approval is required. Must be wood, composite, iron or other material similar to the material of the residence and, must be painted or stained in a color similar to or generally acceptable as complementary to the residence. Elevated decks require a masonry component on columns or posts, and must be a minimum of 16" x 16" or 12" diameter. Covered decks shall use the same roofing materials

and must be installed as an integral part of the residence and patio area. Decks must be located so as not to obstruct or diminish greatly the view of adjacent property owners or to create an "unreasonable" level of noise for adjacent property owners. Construction shall not occur over easements and must be set back in accordance with the set back requirements in the Covenants.

- 2.24 Dog Runs.** DRC approval is required. Considerations shall include, but not be limited to, location in "rear" or "side" yard and abutting the home, proximity to neighbor's residence, "screened" from view, type of cover if utilized, limited in size to 250 square feet, and shall match the style and color of the perimeter fence. If a cover is used, the cover type and materials used must be addressed in the request for approval, generally tarpaulins are not approved. "Dog kennels" are not allowed. An approved wireless and/or underground electric fence may be approved by the DRC provided that the design and material meets the approval of the DRC.
- 2.25 Doors.** DRC approval is not required for the addition of screen or other type doors to a home or an accessory building if the material matches or is similar to existing doors on the house and if the color is generally accepted as a complimentary color to that of the existing doors on the house. Security treatments for doors and windows must be approved by the DRC.
- 2.26 Drainage.** DRC approval is required for any change affecting drainage. The Covenants require that each lot owner be responsible for providing adequate water drainage from the lot into existing storm drains or street gutters so that water does not drain onto adjacent lots. The established drainage pattern as engineered and constructed by the Developer/Builder prior to (or in some cases, immediately following) conveyance of title from the Developer/Builder must not be interfered with, except as approved in writing by the DRC. When installing landscaping, it is very important to insure that water drains away from the foundation of the house and that the flow patterns prevent water from flowing under or ponding near or against the house foundation, walkways, sidewalks and driveways. Water shall flow over walkways, sidewalks or driveways into the street. The DRC may require a report and drainage certification from a civil engineer as part of landscaping or improvement plan approval. Landscaping shall conform to the established drainage pattern. Sump pump drainage shall be vented a reasonable distance from the property line to allow for absorption on the lot.
- 2.27 Driveways.** Extension, expansion, or resurfacing of driveways requires DRC approval. Any approved driveway expansion shall not be intended to promote the parking or storage of any vehicle off the driveway on a side yard. To avoid long expanses of concrete driveways, the DRC shall require properties with three car garages to taper the driveway to no more than twenty (20) feet at the curb.
- 2.28 Evaporative Coolers.** DRC approval is required. No rooftop installations are allowed. See Air Conditioning Equipment
- 2.29 Exterior Lighting.** Any addition to the original exterior fixtures (garage, front and rear doors) must be approved by the DRC. Note: Builders and home owners may not install accessory lighting without proper approval and authorization. DRC approval is required to change or add exterior lighting. Therefore, the use of motion detector spots, spotlights, flood lights or ballasted fixtures (sodium, mercury, multi-vapor, fluorescent, metal halide, etc.) require DRC approval. Considerations shall include, but not be limited to, the visibility, style and location of the fixture. Exterior lighting for security and/or other uses must be directed towards the ground and house whereby the light cone stays within the lot boundaries and the light source does not cause glare to other homeowners (bullet type light fixtures are recommended.)
- 2.30 Fences.**  
A. General Statement: Fences and/or walls constructed by the Developer or Builder along or abutting property lines, arterial streets, collector streets, and local streets shall not be removed, replaced, painted a different color or altered, including adding a gate, without approval of the DRC. If any such fences and/or walls constructed by the Developer or Builder which are located on a homeowner's property are damaged or destroyed by the homeowner, then the homeowner shall repair or recondition the same at homeowner's expense.

B. Perimeter lot fencing shall be permitted. Fences that are presently permitted are perimeter, tot lots and dog runs. DRC approval is required of all fencing (see Exhibit "B" (in Landscape Design Guidelines for open rail fence design)

C. Pre-approved Fence Design: Perimeter fence. Tot lots and dog runs, planned to be located in the rear or side yards along property lines (not previously installed by Developer) must be constructed and stained exactly in accordance with the specifications shown on the Serratoga Falls Homeowner Fencing Plan and Details attached to these guidelines. DRC approval of the location of the fence is required prior to installation by submitting a professional sketch, using the site plan of the home site showing the fence line and gates and any variations in height. Fencing shall be set back a minimum of eight (8) feet from the front of the house.

D. Maintenance and Staining: Regular physical and aesthetic maintenance of fencing is required. The maintenance of the home site side of fencing installed by Developer between greenbelts and lot lines becomes the responsibility of each homeowner sharing that fence portion. The Association and or District shall maintain the greenbelt side of shared fences. Stone columns shall be maintained by the Association and or District, however, the home owner is responsible for any damage done by homeowner. Staining of all fences must be done with the approved stain for Serratoga Falls. See Fencing Plan and Details document.

- 2.31 Firewood Storage.** See Wood Storage
- 2.32 Flagpoles.** Shall be limited to no longer than 6-feet and be exterior mounted to house. Flags shall not exceed 3' x 5' in size.
- 2.33 Garbage Containers and Storage Areas.** See Trash Pickup, Containers, and Enclosures
- 2.36 Grading and Grade Changes.** See Drainage
- 2.37 Greenhouses.** DRC approval is required. Approval will be based upon, but not limited to, general aesthetics, quality and permanence of materials used. Adequate screening will be required.
- 2.38 Hanging of Clothes.** See Clothes Lines and Hangers
- 2.39 Hot Tubs.** DRC approval is required. Must be installed on a concrete pad. Must be 7 feet from property lines. Must be in the rear yard. Must be installed in such a way that is not immediately visible to adjacent property owners and in a manner that it does not create an unreasonable level of noise for adjacent property owners, and must be screened from adjacent property owners with landscaping.
- 2.41 Jacuzzi.** See Hot Tubs
- 2.42 Junk/Inoperable Vehicles.** See Motor Vehicles/Recreational Vehicles
- 2.43 Kennels.** Not allowed. See Dog Runs and Definitions.
- 2.44 Landscaping.** SEE SEPARATE LANDSCAPING & FENCING DESIGN GUIDELINES.
- 2.45 Latticework.** DRC approval is required for any type of trellis or latticework.
- 2.46 Lights and Lighting.** See Exterior Lighting
- 2.47 Motor Homes.** Not permitted to be located or parked in residential areas. See Motor Vehicles/Recreational Vehicles
- 2.48 Motor Vehicles, Motorcycles, and Recreational Vehicles.** No recreational vehicles, campers, campers on/off a vehicle, boats, mobile homes, horse trailers or other trailers, tractors, motor homes or trucks (other than a pickup) shall be stored or parked in such a manner as to be visible from any other property

for longer than forty-eight (48) consecutive hours (2 days) during any month, except as shall be approved in writing by the DRC. Such vehicles shall be kept only within garages or enclosed structures approved by the DRC. Periodic movement of the vehicle for the sole purposes of circumventing this standard shall not qualify the vehicle for exception from this standard.

Inoperable vehicles (legal and/or mechanical) cannot be repaired, parked, stored or allowed to remain on any property. All Inoperable vehicles shall be towed. All vehicle servicing and repairs must be done within the garage.

**2.49 Overhangs/Awnings.** DRC approval is required. The color must be the same as or generally recognized as complementary to the exterior of the residence.

**2.50 Painting.** DRC approval is required for all exterior painting. The submittal must contain the manufacturer's paint chips with name and code number. Approval will take into consideration, but not be limited to the "sheen" of paint, the home's architecture, stone or brick accents, roofing color, and color of neighboring properties.

Homeowners doing maintenance repainting of exterior surfaces using paint (or stain) that is identical to the existing, previously approved product shall as a courtesy notify the DRC but DRC approval is not required.

**2.51 Patio Covers.** DRC approval is required. Must be constructed of wood or material generally recognized as complementary to the home and be similar or generally recognized as complementary in color to the colors in the home. Free-standing patio covers shall be permitted as well as extensions of the roof.

**2.52 Patios - Enclosed.** See Additions and Expansions

**2.53 Patios - Open.** DRC approval is required. Must be an integral part of the landscape plan and must be located so as not to create an unreasonable level of noise for adjacent property owners. Must be similar or generally accepted as a complementary color and design of the residence.

**2.54 Paving.** DRC Approval is required, regardless of whether for walks, driveways, patio areas or other purposes and regardless of whether concrete, brick, flagstones, stepping stones, pre-cast patterned or exposed aggregate concrete pavers are used as the paving material.

**2.55 Pipes.** Exterior pipes and equipment must be approved. Adequate screening shall be required. PVC pipes are usually not allowed. See Roofs (Replacement) and Utility Equipment

**2.56 Poles.** See Flagpoles, Utility Equipment, Basketball Backboards, Birdhouses, etc.

**2.57 Radio Antennas.** See Antennas

**2.58 Roofs.** DRC approval is required for all roofs. The submittal must contain a 4' x 4' lay up of the manufacturer's material with name and code number. All other roofing materials and colors shall be approved on a case by case basis by the DRC. Replacement of roof must be approved by the DRC if material or color is changed.

All vents and pipes must be located on the rear side of roofs whenever possible and shall be painted a similar color as the roof composition material. When possible, vents and pipes should be concealed in non-working chimneys and/or cupolas.

**2.59 Rooftop Equipment.** Rooftop equipment must be approved and must be painted a color similar or generally accepted as complementary to the exterior of the house and professionally installed so as to minimize the visibility of the equipment on the roof. If a suitable match cannot be made as approved by the DRC then the roofing material must be replaced with an approved color.

**2.60 Exterior Saunas.** DRC approval is required.

**2.61 Screen Doors.** See Doors

**2.62 Sewage Disposal System.** All homes must be connected to central sewer system. No cesspools, septic tanks or other non-central systems will be approved.

**2.63 Shutters (security)** Exterior mounted security roll type shutters are not allowed.

**2.64 Siding.** DRC approval is required. The submittal must contain a 4' x 4' lay up of the manufacturer's material.

**2.65 Signs.** DRC approval is required for signs\*. Temporary signs advertising house for sale must be no more than six (6) feet in height and no more than 5' x 5' in dimension. All other signs must be approved by the DRC. No lighted signs shall be permitted. No more than one sign shall be posted at any one time on the site.

Lot for sale signs shall be no more 4 feet in height and no more than 3 feet by 3 feet in dimension.

**Lot Sign Example**



**\*NOTE: Please consult DRC for exact sign design and specification requirements.**

**2.66 Skylights.** DRC approval is not required if 3' x 5' or smaller.

**2.67 Solar Energy Devices.** DRC approval is required for roof installation of flat panel photo voltaic cells and be in compliance with the following:

1. Panels must be mounted parallel to and no more than 10 inches above the roof surface
2. Panels must be mounted on the roof to conform with all Town and fire code required setbacks
3. Panels must be professionally installed
4. Solar or other utility equipment attached to the exterior side of the house should be painted the same color as the exterior of the home, and any panels or necessary wires should be located within tubing that is painted the same existing exterior color to minimize the visibility of the equipment.

See Roofs.

**2.68 Spas.** See Hot Tubs

**2.69 Sprinkler Systems.** See Irrigation.

**2.70 Statues.** DRC approval is required. It is recommended to install all statues in the rear yard and of a height not greater than 5 feet, including any pedestal.

**2.71 Storage Sheds.** See Accessory Buildings.

- 2.72 Sunshades.** See Overhangs.
- 2.73 Swamp Coolers.** See Evaporative Coolers and Rooftop Equipment.
- 2.74 Television Antenna.** See Antennas.
- 2.75 Temporary Structures.** DRC approval is required. Tents, temporary structures or temporary buildings are prohibited without the prior consent of the DRC, and except in unusual circumstances such consent will not be given. Camping tents for occasional overnight sleeping by children or party tents will not require DRC approval if left up for not longer than 48 hours.
- 2.76 Temporary Vehicles.** See Motor Vehicles/Recreational Vehicles.
- 2.77 Trailers.** See Motor Vehicles/Recreational Vehicles.
- 2.78 Trash Containers, Enclosures, and Pick Up.** Trash enclosures require approval of DRC. Trash, refuse, garbage, lumber, grass, shrub or tree clippings, plant waste, compost, metal, build materials, scrap, refuse or debris or any kind shall not be kept, stored or allowed to accumulate on any lot except within an enclosed structure or appropriately screen from view. Trash containers shall be placed on the street for pickup the evening prior to pickup. Trash containers must be properly stored indoors by the evening of pickup. The Association/Serratoga Falls Metro District #2 will choose the trash pick-up company to be used. No other trash pick-up companies are allowed. See Compost in Landspcaing & Fencing Guidelines
- 2.79 Treehouses.** shall not be permitted.
- 2.80 Trucks.** See Motor Vehicles, Motorcycles, and Recreational Vehicles.
- 2.81 Underground Installations.** DRC approval is required.
- 2.82 Utility Equipment.** Installation of utilities or utility equipment requires DRC approval unless located underground or within an enclosed structure. Pipes, wires, poles, utility meters and other utility facilities must be kept and maintained, to the extent reasonably possible, underground or within an enclosed structure.
- 2.83 Vanes.** See Wind chimes.
- 2.84 Vehicles (Large).** See Motor Vehicles, Motorcycles, and Recreational Vehicles.
- 2.85 Vents.** See Rooftop Equipment.
- 2.86 Walls.** See Fences.
- 2.87 Walls - Retaining.** DRC approval is required. Walls shall not void reasonable fencing of property lines, nor disturb certified drainage plans and be constructed of a material which complements the architectural materials of the house.
- 2.88 Water Purification Systems.** DRC approval is not required if water purification system is completely contained within the dwelling unit and causes no architectural change to the exterior of said dwelling unit.
- 2.89 Wells.** Not permitted. No mining or extraction of mineral shall be permitted on any lot.
- 2.90 Windows: Tinting, Security Bars, etc.** DRC approval is required. Note; security bars shall not be approved on second story windows and windows visible to the street.
- 2.91 Wind Turbines, Wind Vanes, Wind Chimes, Directionals, etc.** DRC approval is required.



### III. PROCEDURES FOR DRC APPROVAL

- 3.1 General.** These Guidelines are published to assist Owners and Builders in complying with the Covenant provisions of Serratoga Falls and to encourage all residential construction to be completed in conformity with the provisions for architectural control. These are guidelines only and the Design Review Committee (DRC) has final approval authority for the plans submitted. Individual items may be waived or other requirements added to produce an acceptable outcome or may be varied by location and home site to enhance compatibility.

As indicated in the listing of specific types of improvements, there are some cases in which advance written approval of the Design Review Committee is not required if the guidelines with respect to that specific type of improvement are followed. In a few cases, as indicated in the listing, a specific type of improvement is not permitted under any circumstances. **IN ALL OTHER CASES, INCLUDING IMPROVEMENTS NOT INCLUDED IN THE LISTING, ADVANCE OR PRIOR WRITTEN APPROVAL BY THE DRC IS REQUIRED BEFORE AN IMPROVEMENT TO PROPERTY IS COMMENCED. THIS SECTION OF THE GUIDELINES EXPLAINS HOW SUCH APPROVAL CAN BE OBTAINED.**

All plans submitted to the DRC will be evaluated by the Developer, a registered Architect and/or the DRC and approval will be based upon conformance with the submittal requirements, architectural standards, and the construction regulations described herein. The intent of the review process is to ensure that each home has individual design quality and integrity while remaining compatible with the overall neighborhood.

Once a home is approved, construction shall begin within 9 months of the date of approval. Failure to comply requires a resubmittal for a new approval.

- 3.2 Drawings or Plans.** The DRC requires all submittals to list the address and legal description of the property and the name, address and the phone number of the property owner, and architect and/or designer. Submittal must be made prior to commencement of work on any Improvement to the Property. The submittal must include "descriptions, surveys, site plans, drainage plans, elevation drawings, construction plans, specifications and samples of materials and colors" as the DRC shall reasonably request showing the nature, kind, shape, height, width, color, materials and location of the proposed improvement. In all cases, the materials to be submitted will have to be professionally prepared by an architect, a landscape architect or draftsman. In the case of major improvements, such as room additions, structural changes or accessory building construction, detailed plans and specifications, prepared by a licensed professional, shall be required. Whether done by you or professionally, the following guide lines shall be utilized in preparing drawings or plans:

A) All site plans shall be done to scale of 1" = 10' and shall depict the property lines of your lot and the outside boundary lines of the home as located on the lot and the proposed grading and finished floor elevations. If you have a copy of an improvement survey of your lot, this survey would be an excellent base from which to draw.

B) Existing improvements, in addition to your home, shall be shown on the drawing or plan and identified or labeled. Such existing improvements include driveways, walks, decks, trees, bushes, etc.

C) The proposed improvements shall be shown on the plan and labeled. Either on the plan or an attachment, there shall be a brief description of the proposed improvement, including the materials to be used and the colors. (Example: Redwood deck, 10'x12' with 2"x4" decking, Natural stain.)

D) The architectural construction drawings shall be done at a scale of 1" = 10', and shall show exterior elevations, floor plans and additional information as shown on the design control submittal sheet.

E) All masonry and/or stucco materials, paint and roof materials of the home submitted to the DRC for approval must be submitted as a 4' x 4' lay up.

### **3.3 ARCHITECTURAL DESIGN REVIEW REQUIREMENTS:**

A) Submission of Drawings and Plans. Please complete the "Design Control Submittal" form by checking off the items that are specific to the request, and making sure that these items are addressed on the drawings or plans. Samples of exterior color selections must be submitted for DRC approval. Two copies of the drawing or plan must be submitted to the DRC. The items shown on the "Design Control Submittal" form must be submitted and DRC approval received prior to any construction activity.

### **3.4 SUBMITTAL REQUIREMENTS:** Before construction begins each Owner must submit the following items for review by the DRC and all submittals are to be clearly marked with the Owners name and phone number, mailing address, home site number and address:

A) Site Plan (2 hard copies & 1 digital copy) which indicates the following:

- Building locations (dimensioned from all property lines).
- Setbacks and easements.
- All driveways, decks, pads, sidewalks, etc., locations.
- Grading and drainage plans, including flow arrows and grades on adjacent properties.
- Top of Wall elevations for house, garage, and all step-downs.
- Finished floor elevations.
- Elevations of all corners of the lot.

B) Construction Drawings (2 hard copies & 1 digital copy) indicating:

- Exterior elevations, all sides, showing dimensioned trim, railing and door details.
- Indications of exterior materials with front facade percentages calculated and shown.
- Exterior details including chimneys, exterior stairs, decks, railings and columns, and location of required standard address block on front elevation.
- Roof Pitches.
- Building height measured from where driveway meets top of curb.

C) Colors and Exterior Finishes:

- Actual color samples of exterior finishes, roofing materials and paint colors on 4' x 4' board (Use Color Submittal Form)
- Please note that a separate 4' x 4' lay up for each masonry and stucco selections and siding selection will be necessary to place on the home site for review and approval by the committee.

D) Landscape and Fencing Plans: (2 sets - See Landscape & Fence Design Guidelines).

- Site plan showing existing and proposed grading with special attention to drainage consideration, location and type of trees and shrubs, screening, grass, rock, berms, fountains or ponds, terracing, retaining walls, decorative features, lighting, etc.

E) Additional Improvements:

- Any other anticipated items such as dog runs, storage areas, etc. Additional construction to a home or landscaping after completion of an approved site must be submitted to DRC for approval prior to initiating such changes or additions.

F) Review Fees:

- Please contact Centennial Consulting Group for a current list of fees.

Centennial Consulting Group  
2619 Canton Ct., Suite A  
Ft. Collins, CO 80525  
Office - 970-484-0101  
serratorafalls@ccgcolorado.com

**3.5 BUILDING CODE:** All residential structures must conform to the applicable building codes of the Town of Timnath. Approval by the DRC of plans submitted to them does not imply compliance with any building code or ordinances. The Builder and Owner shall be required to obtain a building permit from the Town of Timnath and obtain the necessary inspections for a Certificate of Occupancy.

## **DEFINITIONS:**

**Association:** A non-profit corporation formed under the name whose Articles of Incorporation are filed with the Colorado Secretary of State. It is the homeowners' association for Serratoga Falls.

**Boat:** A boat is a structure designed for navigation on the water and propelled by oars, paddles, sails, or active power, and includes any object commonly understood to be a boat.

**Camper Coach:** An item of mounted equipment which, when temporarily or permanently mounted on a motor vehicle, adapts such vehicle for use as temporary living or sleeping accommodations.

**Camping Trailer:** A vehicular portable unit mounted on wheels and constructed with collapsible partial side walls which fold for towing by another vehicle and unfold at the campsite to provide temporary living quarters for recreational, camping or travel use.

**Committee:** The Design Review Committee established pursuant to the Declaration.

**Common Areas:** Out lots that have been or will be dedicated to the Association or District for the purpose of greenbelts, streetscapes, clubhouse, pool, waterfall, etc.

**Concealment:** Requires that 80% of the area or object be hidden from the view of the adjacent properties.

**Declaration:** Declaration of Covenants, Conditions and Restrictions governing the Serratoga Falls Subdivision as recorded by the Developer.

**Developer:** Serratoga Development, Inc.

**Dog Kennel:** A structure where animals are individualized for purposes of boarding, breeding or training or any type of commercial venture.

**Dog Run:** A contained space that is intended to allow one or more animals free movement in the out of doors.

**Improvements:** any changes, alterations or additions to a home site or structure from its condition at the time of purchase.

**Legally Inoperable:** A vehicle's licensing status - e.g. expired plates.

**Lot:** A platted lot building site within Serratoga Falls

**Owner:** The Owner of record of a Lot, whether one or more persons or entities, hereinafter referred to as Owners, but including all owners, builders, consultants, or any other authorized agents of the Owner.

**Mechanically Inoperable:** A vehicle's physical status - e.g. car is not road-ready (motor dysfunctional, drive train out, flat tires, etc.)

**Metropolitan District (District):** The Serratoga Falls Metropolitan Districts are governmental entities and political subdivisions of the State of Colorado, designed to serve as perpetual quasi-municipal corporations each operating with an elected five-person Board of Directors. The primary purpose of the Districts is to finance infrastructure required by the Serratoga Falls development and to provide an on-going institutional structure for the operation and maintenance of district improvements and facilities.

**Mobile Home:** A mobile home is any type of trailer or vehicle body, regardless of any appurtenances, additions, or other modifications thereto, without independent active power, manufactured upon an integral chassis or under carriage and designed either for travel over the highways or for housing accommodations or both.

**Motor Home:** A vehicular unit, built on a self-propelled motor vehicle chassis, primarily designed to provide temporary living quarters for recreational, camping, or travel use.

**Protective Covenants (Covenants):** The Declaration and any Supplementary Declarations affecting Serratoga Falls as recorded by the Developer.

**Recreation Vehicle:** A recreational vehicle is a vehicle-type unit primarily designed as temporary living quarters for recreational, camping, or travel use, which either has its own active power or is mounted on or drawn by another vehicle.

**Screened:** Requires that 50% of the area or object be hidden from the view of adjacent properties.

**Sheen:** Sheen is the degree of luster of a dried paint film. DRC will approve paint with an angular sheen of 0-25 degrees for base and trim colors.

**Standards:** Those design standards, review procedures and construction regulations adopted and enforced by the DRC as set forth in this document and as amended from time to time by the DRC.

**Supplemental Declaration:** Any Supplemental Declaration of Covenants, Conditions and Restrictions affecting a particular Serratoga Falls Filing as recorded by the Developer.

**Trailer/Trailer House:** A trailer is any vehicle coupled to, or drawn by another vehicle. A trailer house is a trailer designed to serve wherever parked as a dwelling or a place of business.

**Travel Trailer:** A vehicular portable unit, mounted on wheels, primarily designed and constructed to provide temporary living quarters for recreational, camping or travel use.

**Truck Camper:** A portable unit, designed to be loaded onto, or affixed to, the bed or chassis of a truck, constructed to provide temporary living quarters for recreational, camping or travel use. This does not include pickup trucks C ton or less in size with a topper or shell that does not exceed the height of the cab.